

September 25, 2024

JDD SERVICES GROUP
ATTN: JASON JOHNSON
1957 MIMOSA TRL
FLORENCE KY 41042

RE: BOA-24-0037

The Park Hills Board of Adjustment heard your request for the noted case on September 19, 2024. After considering the testimony provided, members of the Board acted as detailed on the following page.

Thank you for your cooperation through this process. Feel free to contact me if you have any questions about the Board's action or steps you may want to take now.

If you choose, you may file an appeal of the Board's action with the Circuit Court within 30 days according to Kentucky Revised Statutes 100.347.



Megan Bessey, PhD, CCEO
Principal Planner

We appreciate feedback about your experience with us on this process.
Please take a few minutes to complete our Customer Satisfaction Survey: <https://www.pdskc.org/contact>.
Thank you!

BOA-24-0037

Location: 1039 Altavia Avenue, Park Hills

Request: A variance request to the Park Hills Zoning Ordinance to reduce the minimum required side yard setback in a R-1EE (Residential One EE) Zone. The applicant is proposing to construct a 240 square foot detached garage with a setback of three feet where seven feet is required.

Decision: To approve the variance request to the Park Hills Zoning Ordinance to reduce the minimum required side yard setback in a R-1EE (Residential One EE) Zone.

Basis:

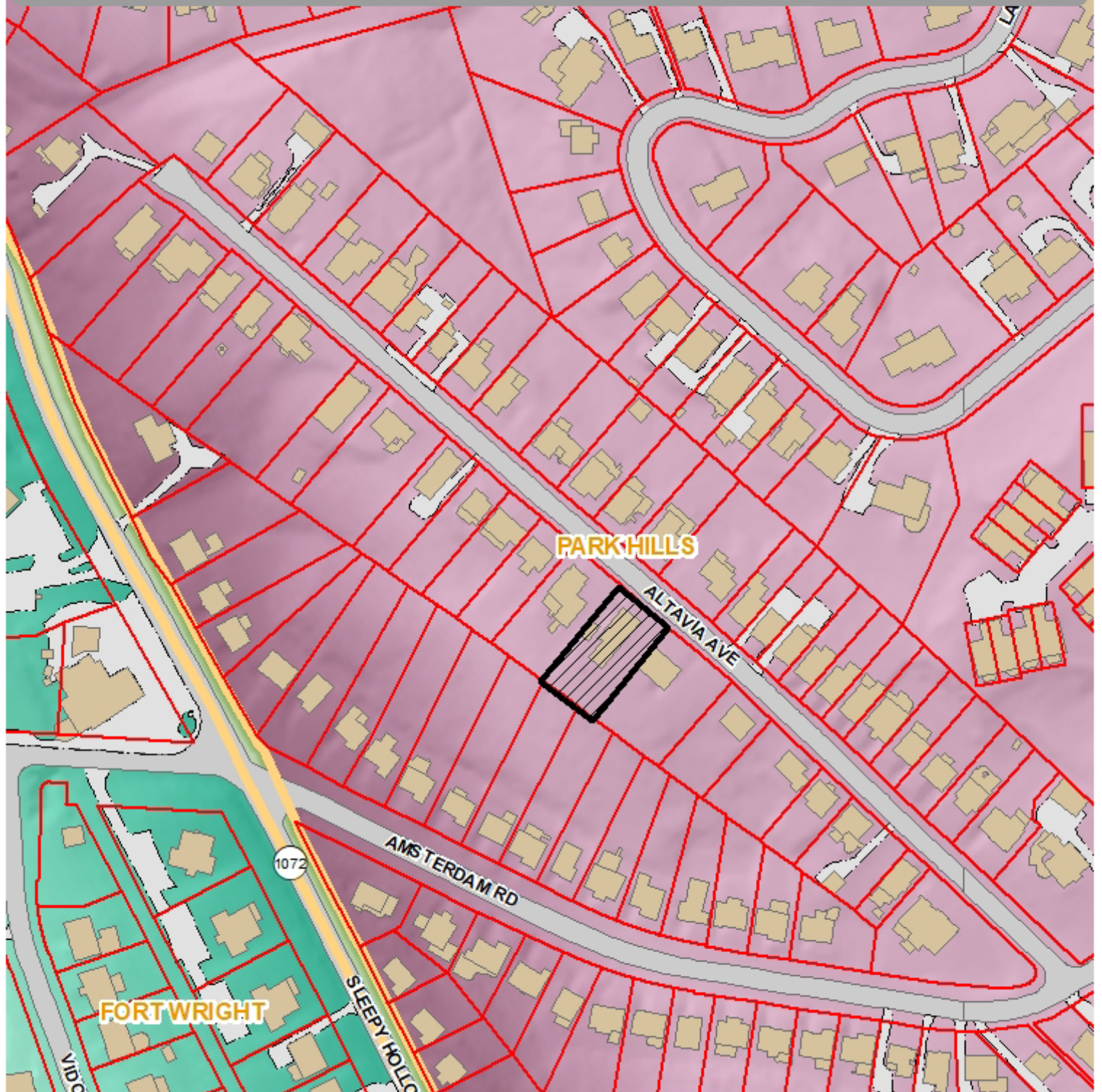
1. The variance will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. Had the previous garage not been destroyed by storm damage, it would remain a nonconforming structure with a three-foot side yard setback. The applicant states that the garage cannot be moved closer to the house because of the location of the stairway to the house to access the side door.
2. Based on testimony at the September 19, 2024 public hearing.

Result of BOA Action:

The applicant is permitted to construct a 240 square foot detached garage with a setback of three feet, as submitted and discussed at the public hearing and subject to all required zoning and building permits.



BOA-24-0037



Building	Roads	Utilities	Topography
Building	Paved Road	Sewer	Index Contour
Pool	Unpaved Road	Sewer Structure	Intermediate Contour
Tank	Bridges	Water Pipe	Contour
Concrete Pad	Paved Parking	Water Hydrant	Creek / Stream
Recreation	Unpaved Parking		River / Lake
Ball Fields	Railroad		
Playground/General Rec			
Tree/Green			
	Boundaries		
	Parcel		
	Zoning		

1:2,000

0 40 80 160 Feet






1840 Simon Kenton Way, Suite 3400
Covington, KY 41011-2999
859.331.8980
Office hours M-F 8-5
www.linkgis.org

Parcel data provided by CCPVA, KCPVA and LINK GIS.

Date: 9/20/2024

This GIS data are deemed reliable and every effort has been made to ensure their accuracy. They are, however, provided "as is" without warranty of correctness, timeliness, reliability, or completeness. Map elements do not represent a legal survey of land. Use of these data for any purposes should be with an acknowledgement of their limitations, including the fact that they are dynamic in nature and in a constant state of maintenance. Field investigation may be necessary.

JDD Services Group, Inc.

Jason Johnson, Owner

August 23, 2024

Submission Letter

1039 Altavia Ave.

Park Hills, KY 41011

Owner: Carla Kautz

We are proposing to rebuild a single car garage approximately the same size as existing (12' x 20'). A year ago, a tree fell through the original garage and the structure could not be salvaged and was torn down. We are requesting to build the new garage on the original 3' setback versus new setbacks of 7'. The new garage cannot be moved closer to the house to abide by 7' setback due to stairs on the side of the house for the side door. The new garage cannot be moved to the rear of the house due to 40" taller backyard elevation. The new garage can only be placed where the original garage was located.

Thank you for your time.

Kindest Regards,

Jason Johnson

Carla Kautz

From: [Jason Johnson](#)
To: [Pamela Bushelman](#)
Subject: Fwd: Submission letter Carla Kautz
Date: Friday, August 23, 2024 3:52:43 PM
Attachments: [Carla Kautz garage.docx](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Pamela, my wife had to help draft a new one. There is no way I could of gotten you the original in time. I am forwarding her email with attached submission letter.

Please let me know you received this email.

Jason

Get [Outlook for Android](#)

From: Beverly Niehaus <bevniehaus@yahoo.com>
Sent: Friday, August 23, 2024 3:48:35 PM
To: Jason Johnson <Jason@jddservicesgroup.com>
Subject: Submission letter Carla Kautz

August 20, 2024

I have no objection to the garage at 1039 Altavia Ave. being rebuilt in the same place as it was before it was destroyed by the tree.

1043 Altavia Ave.

Vicente M. Gata

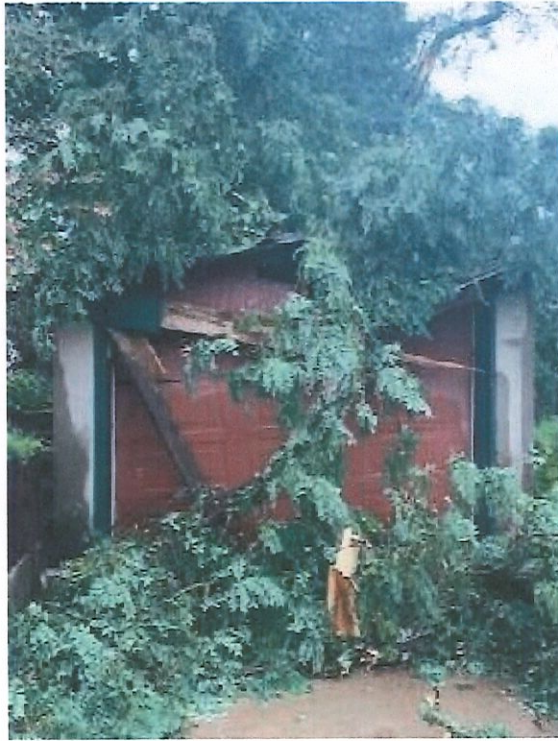
August 20, 2024

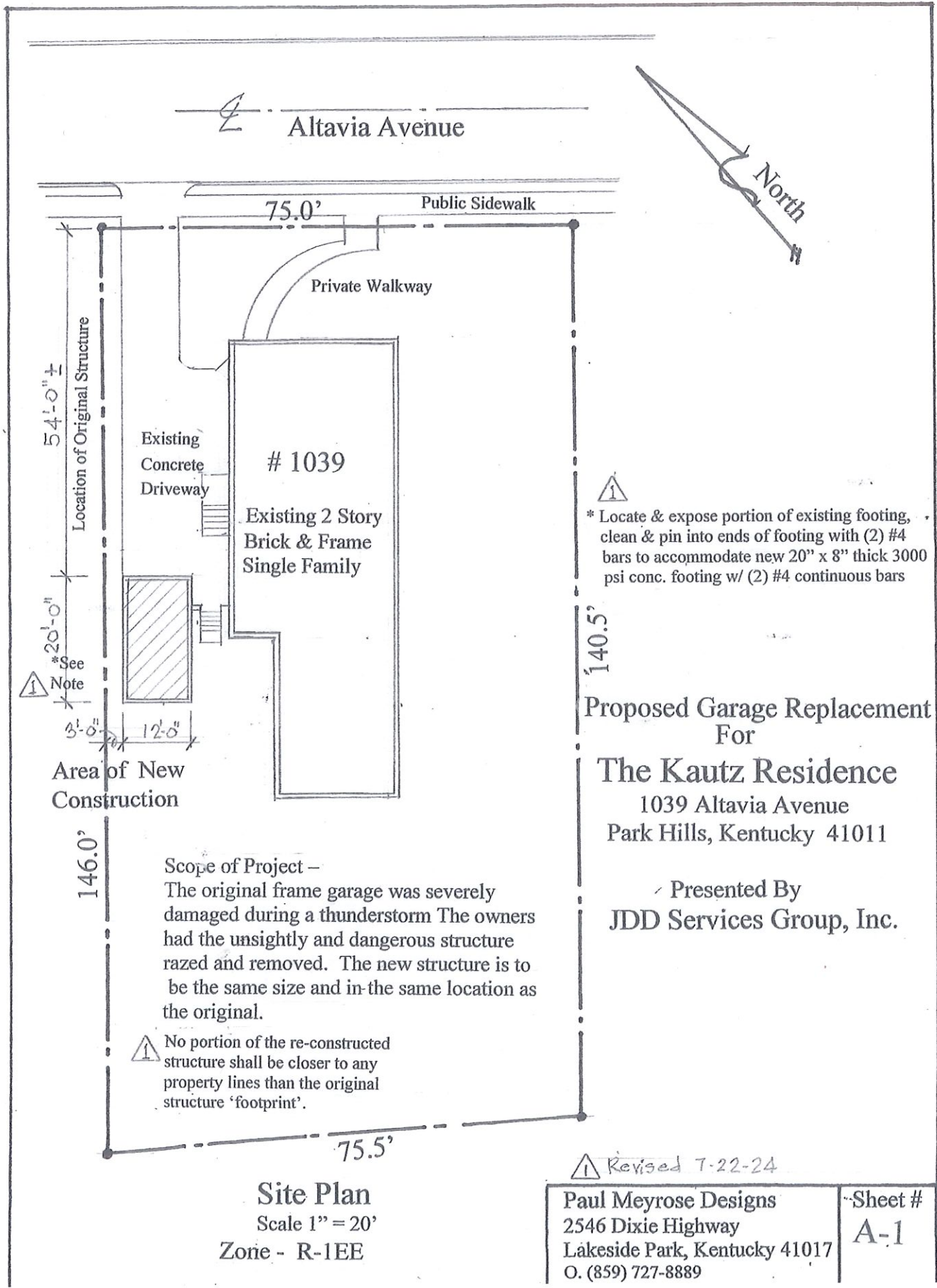
I have no objection to the garage at 1039 Altavia Ave. being rebuilt in the same place as it was before it was destroyed by the tree.

1040 Altavia Ave.

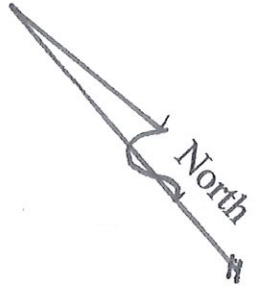
Patricia A. Smith







Altavia Avenue



75.0' Public Sidewalk

Private Walkway

54'-0" ±
Location of Original Structure

Existing Concrete Driveway

1039

Existing 2 Story Brick & Frame Single Family

20'-0" *See Note

3'-0" 12'-0"

Area of New Construction

146.0'

⚠️
* Locate & expose portion of existing footing, clean & pin into ends of footing with (2) #4 bars to accommodate new 20" x 8" thick 3000 psi conc. footing w/ (2) #4 continuous bars

140.5'

Proposed Garage Replacement For
The Kautz Residence
1039 Altavia Avenue
Park Hills, Kentucky 41011

Presented By
JDD Services Group, Inc.

Scope of Project –
The original frame garage was severely damaged during a thunderstorm. The owners had the unsightly and dangerous structure razed and removed. The new structure is to be the same size and in the same location as the original.

⚠️ No portion of the re-constructed structure shall be closer to any property lines than the original structure 'footprint'.

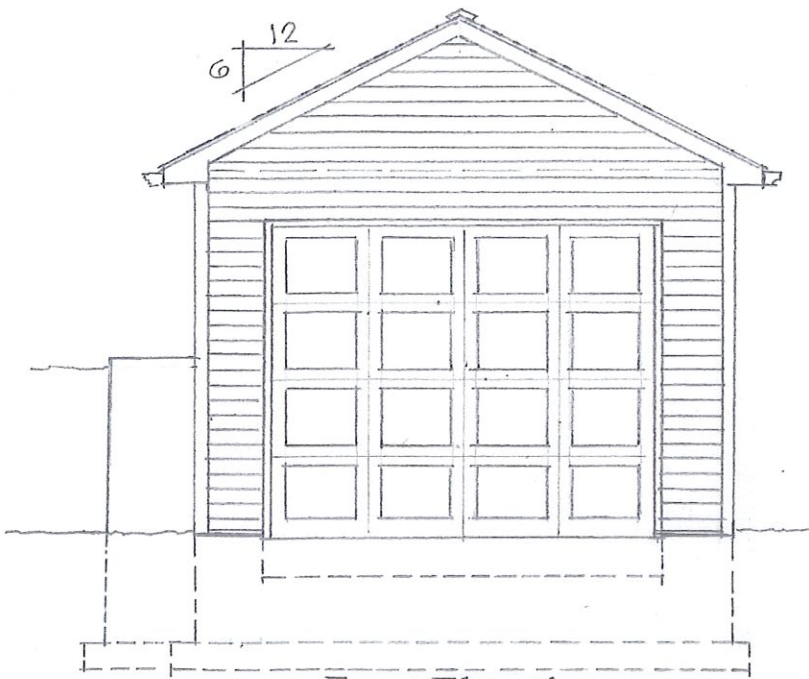
75.5'

⚠️ Revised 7-22-24

Site Plan
Scale 1" = 20'
Zone - R-1EE

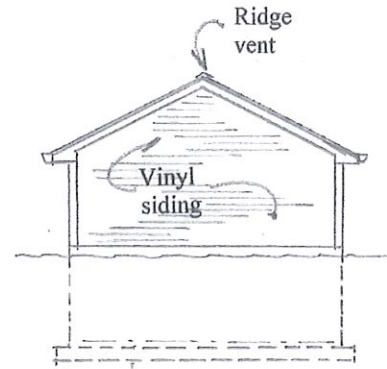
Paul Meyrose Designs
2546 Dixie Highway
Lakeside Park, Kentucky 41017
O. (859) 727-8889

Sheet #
A-1



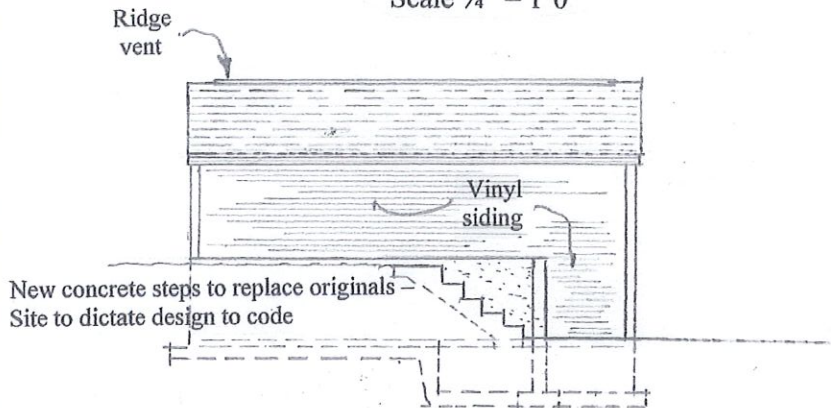
Front Elevation

Scale 1/4" = 1'0"



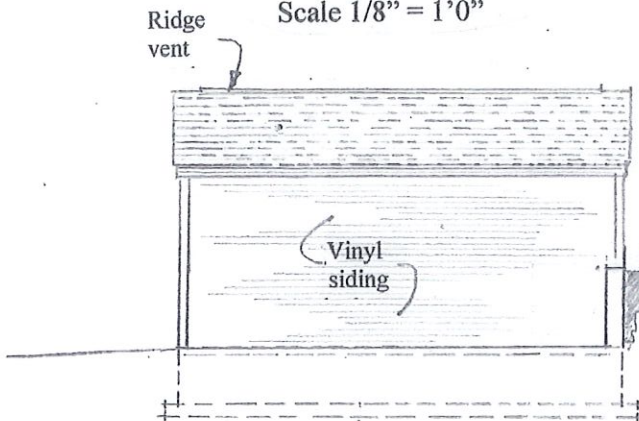
Rear Elevation

Scale 1/8" = 1'0"



Left Side Elevation

Scale 1/8" = 1'0"



Right Side Elevation

Scale 1/8" = 1'0"

Extend existing interlocking block wall w/ matching block - terminate behind new concrete wall

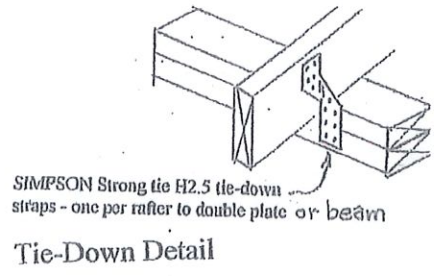
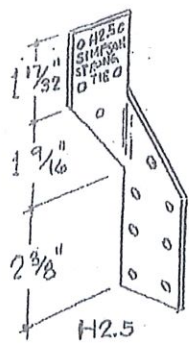
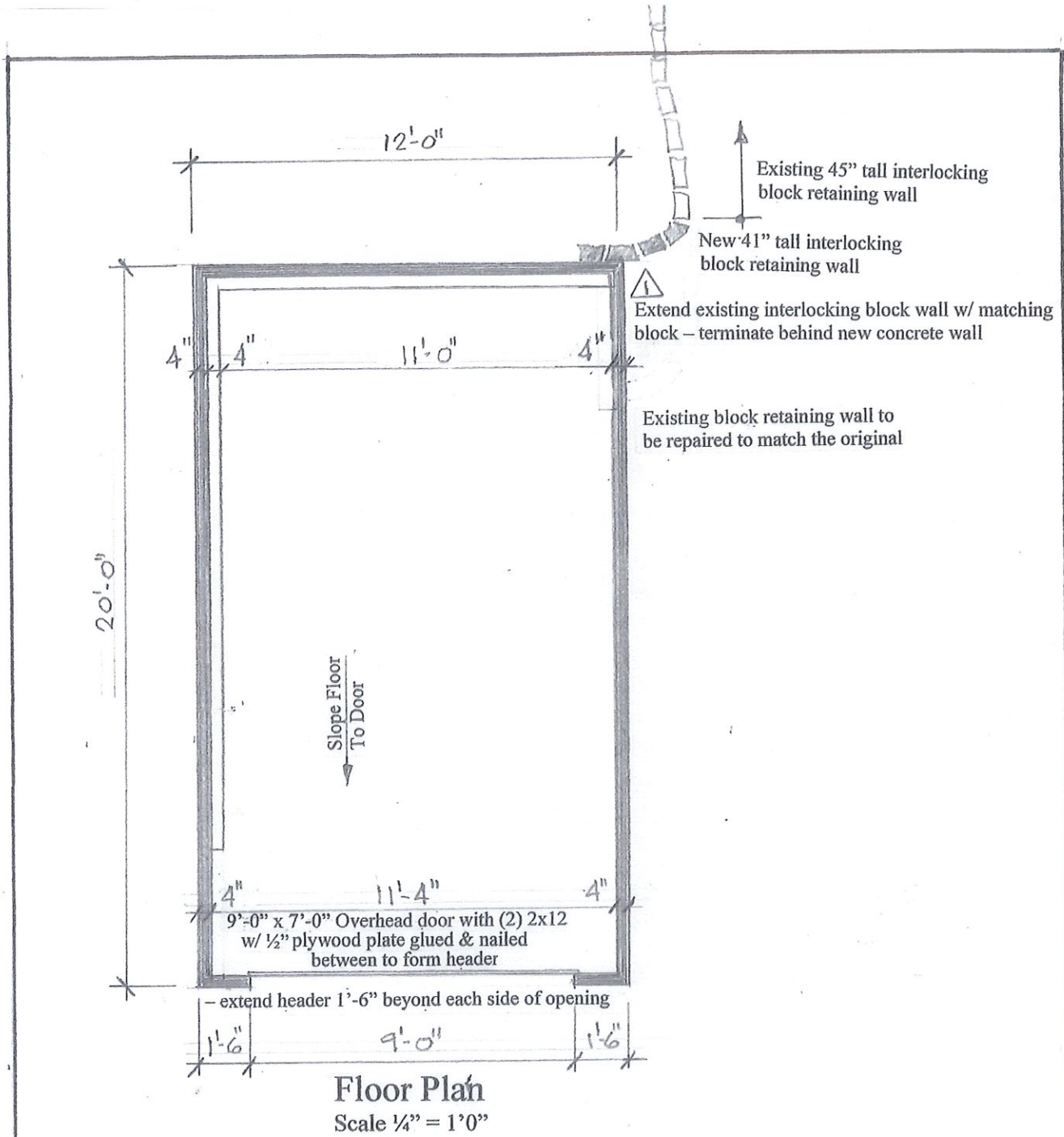
Existing block retaining wall to be repaired to match the original

Revised 7-22-24

Kautz Garage

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 2546 Dixie Highway
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 O. (859) 727-8889

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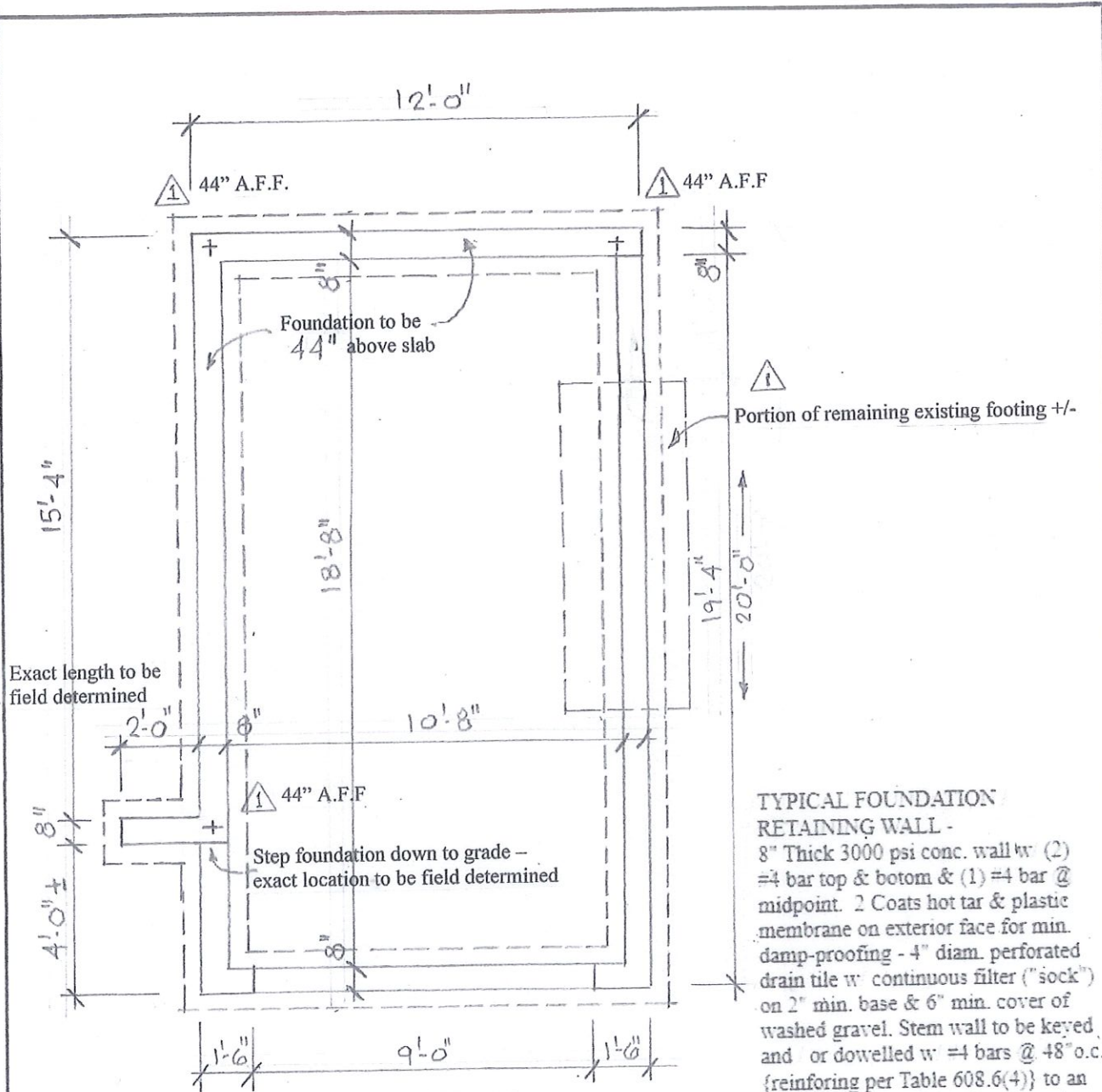


Revised 7-22-24

Kautz Garage

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TYPICAL FOUNDATION RETAINING WALL -
 8" Thick 3000 psi conc. wall w/ (2) #4 bar top & bottom & (1) #4 bar @ midpoint. 2 Coats hot tar & plastic membrane on exterior face for min. damp-proofing - 4" diam. perforated drain tile w/ continuous filter ("sock") on 2" min. base & 6" min. cover of washed gravel. Stem wall to be keyed and/or dowelled w/ #4 bars @ 48" o.c. (reinforcing per Table 608.6(4)) to an 8" thick x 20" wide 3000 psi conc. footing w/ (2) #4 bars continuous.

Foundation Plan

Scale 1/4" = 1'0"

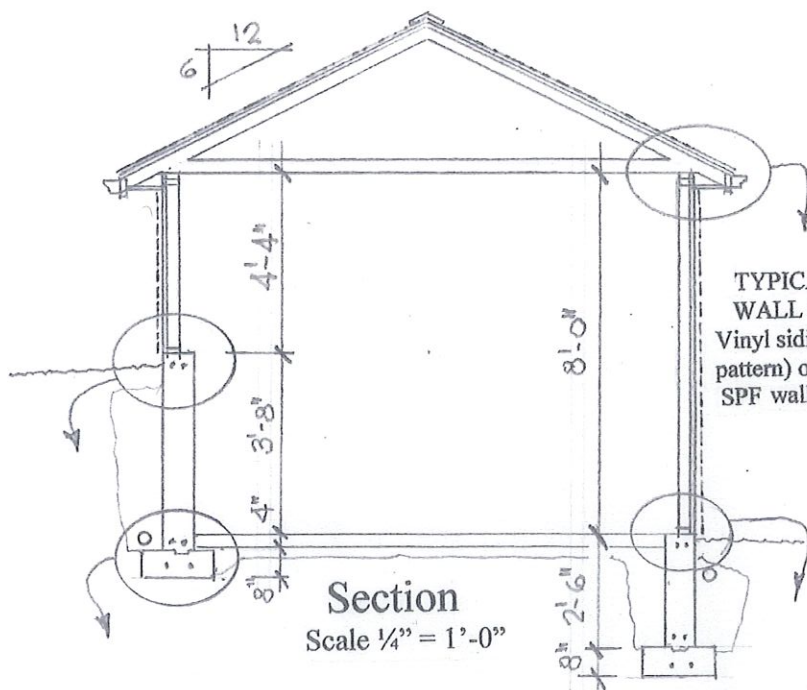
TABLE R608.6(4)
 MINIMUM VERTICAL REINFORCEMENT FOR FLAT, WAFFLE- AND SCREEN-GRID ABOVE-GRADE WALLS DESIGNED CONTINUOUS WITH FOUNDATION STEM WALLS^{a,b,c,d,e,k,l}

MAXIMUM WIND SPEED (mph)			HEIGHT OF STEM WALL ^{k,l} (feet)	MAXIMUM DESIGN LATERAL SOIL LOAD (psf/ft)	MAXIMUM UNSUPPORTED HEIGHT OF ABOVE-GRADE WALL (feet)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE AND SPACING (inches) ^{f,g}		
Exposure Category						Wall type and nominal thickness ^j (inches)		
B	C	D				Flat		
					8	4	6	8
						4@30	4@48	4@48
115			3	30				

Revised 7-22-24 Kautz Garage

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A-4



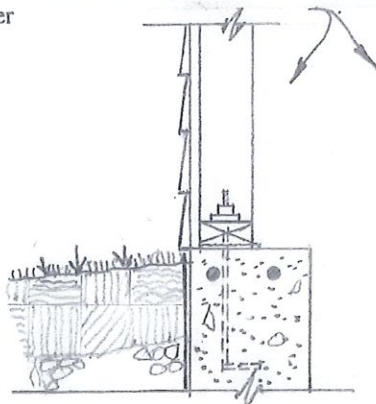
Section
Scale 1/4" = 1'-0"

TYPICAL VINYL SIDING WALL CONSTRUCTION -

Vinyl siding (horizontal lap, shakes, shapes or other pattern) over 7/16" O.S.B. sheathing nailed on 2x4 SPF wall studs @ 16" o.c.

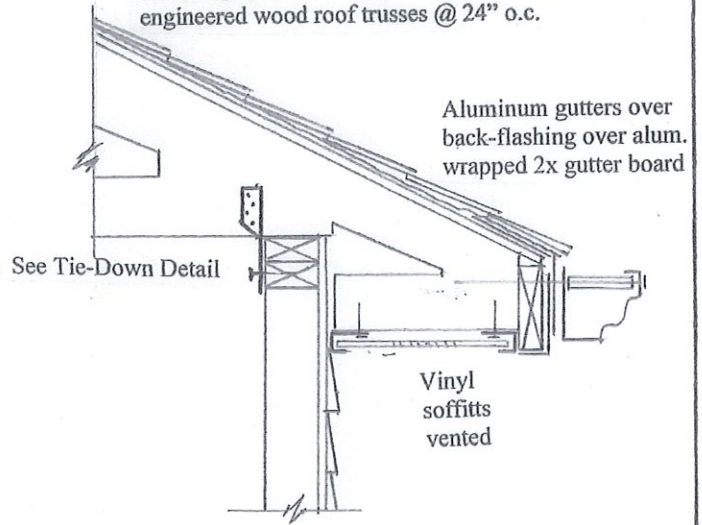
TYPICAL SILL PLATE CONSTRUCTION -

Pressure treated 2x4 sill plate over foam sill sealer anchored to top of foundation wall with 1/2" diameter x 14" long anchor bolts or approved galvanized straps @ 6'-0" o.c. max. spacing and not more than 12" from any corner



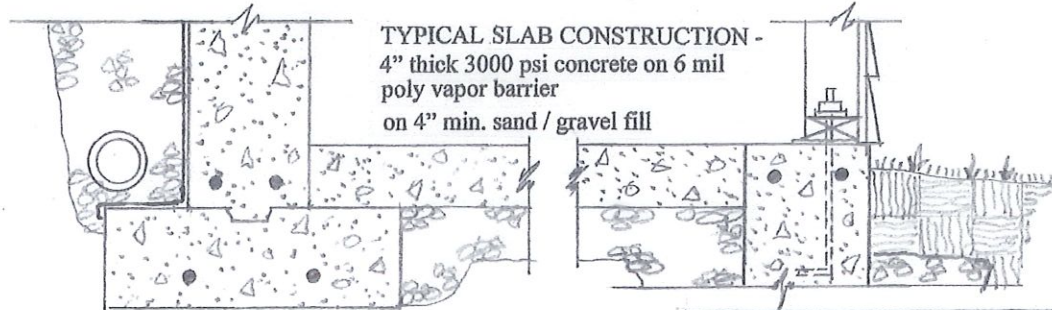
TYPICAL ROOF CONSTRUCTION -

25 year shingle over 15# roofing felt over 7/16" O.S.B. sheathing spaced with plywood clips and nailed to pre-engineered wood roof trusses @ 24" o.c.



TYPICAL SLAB CONSTRUCTION -

4" thick 3000 psi concrete on 6 mil poly vapor barrier on 4" min. sand / gravel fill

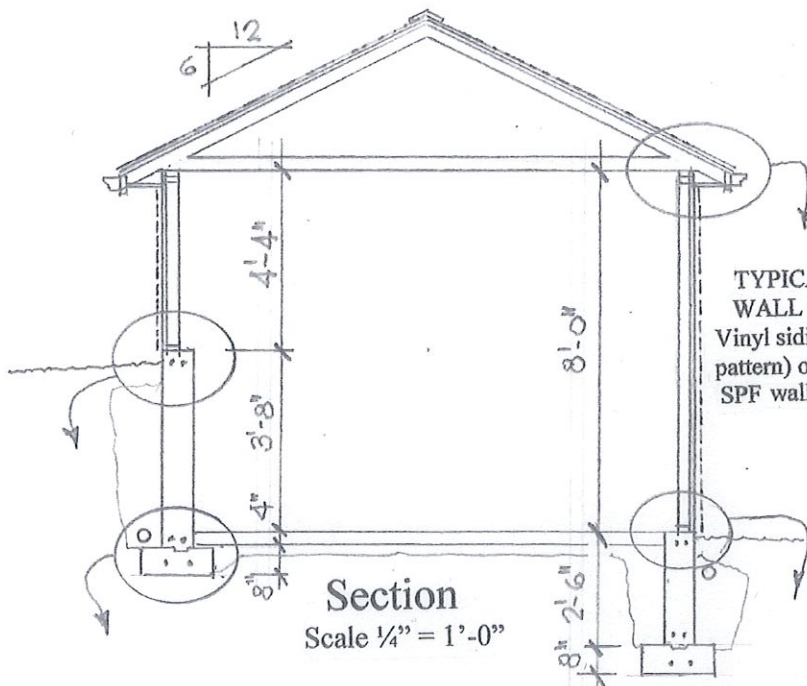


Details
Scale 1" = 1'-0"

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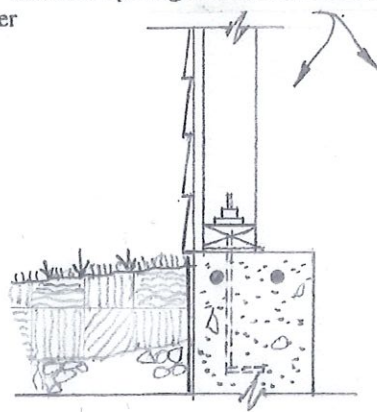
Kautz Garage

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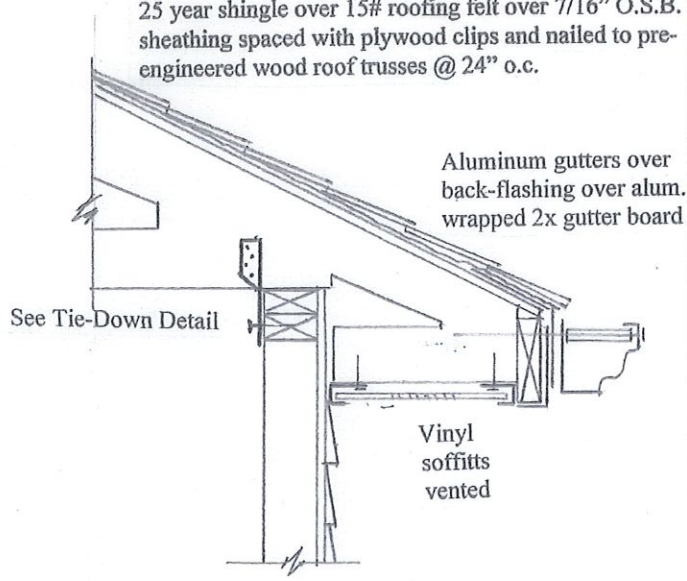


TYPICAL VINYL SIDING WALL CONSTRUCTION -
 Vinyl siding (horizontal lap, shakes, shapes or other pattern) over 7/16" O.S.B. sheathing nailed on 2x4 SPF wall studs @ 16" o.c.

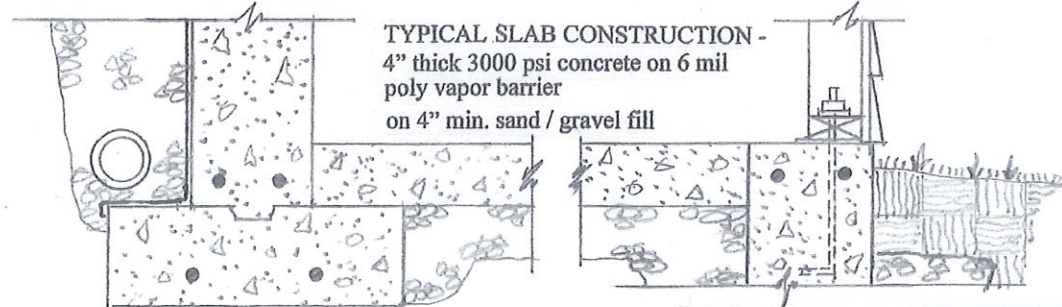
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TYPICAL ROOF CONSTRUCTION -
 25 year shingle over 15# roofing felt over 7/16" O.S.B. sheathing spaced with plywood clips and nailed to pre-engineered wood roof trusses @ 24" o.c.



TYPICAL SLAB CONSTRUCTION -
 4" thick 3000 psi concrete on 6 mil poly vapor barrier on 4" min. sand / gravel fill



Kautz Garage

Details
 Scale 1" = 1'-0"

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